

HOA Architectural Information—summary sheet

- The Architectural Plan and Control Committee (APCC) reviews all new home plans for Lake Winnebago. The Committee meets the first and third Tuesdays of each month. To be on the agenda, you must submit two sets of plans (one full sized and smaller set on 11" x 17") by the prior Tuesday (one week before the meeting). After review, if the APCC approves the plan, and no variances are necessary, the HOA submits a Work Order to the City of Lake Winnebago. If a variance is required, the APCC will submit a recommendation to the HOA Board of Directors for their review. A New Home Construction Plan Submittal Sequence sheet is attached.
- The fee for new home review is \$125. All other APCC review is \$25.
- Approval and permits for all new construction are also necessary from the City of Lake Winnebago.
- Please check the HOA's website, www.lakewinnebago.org, for the most current Architectural Guidelines.
- In addition to new home construction, the APCC reviews any exterior changes to existing homes, including but not limited to, exterior paint color, roof replacement, home additions, decks, fences, swimming pools, etc.
- Size requirements:
 - Ranch style, single level dwellings—1800 square foot minimum
 - Two level, above ground—2800 square foot minimum, with a minimum of 1400 square feet on the main living area.
 - One and half level—2200 square foot minimum, with a minimum of 1600 square feet on the main living area.
 - All size requirements exclude porches, patios, garages,
- Setback requirements:
 - Front setback—30'
 - Rear setback—30'
 - Side setbacks—7 ½'
- Keeping silt from entering the lake is a top priority at Lake Winnebago. As such, all construction projects that include earth disturbance are required to comply with the HOA's and the City's Erosion Control Policies. Attached is a copy of the specific requirements which is signed by builders/homeowners prior to APCC approval.

- Approved Composition Roof Shingles—there are several manufacturers with products that have been pre-approved for roofing material. The list is attached. Earth tones are the recommended color choices (Weathered Wood, Driftwood, etc.).
- Any type of outbuildings is prohibited at Lake Winnebago.
- There is an HOA owned greenbelt that borders the lake. In the event a property owner requests to construct or install certain structure/improvements on the greenbelt, a HOA Greenbelt Acknowledgement form must be signed. It is attached for further information.
- Shoreline/Bank Stabilization (sea walls)—shoreline stabilizations are considered for waterfront property for the purposes of erosion control and wave dissipation. Materials can be natural rock, sea walls, riprap or a combination. All methods must include a riprap fillet to an elevation of 2 feet above normal pool elevation. Normal pool is 918.5', which requires the riprap to a height of 920.5'. The application for Shoreline/Bank Stabilization is attached with further details.

APCC Guidelines
NEW HOME CONSTRUCTION PLAN SUBMITTAL SEQUENCE

PAGE 1 OF 2

Receive notice by phone, email and/or visit from New Resident/Architect/ Builder

Respond by providing regularly scheduled APCC Review meeting dates;

Provide PDF copies of the following five (5) attached forms needed on all new home plan reviews:

- (1) APCC Guidelines,
- (2) New Home Build Checklist;
- (3) HOA/City Erosion Control form;
- (4) Greenbelt Acknowledgment; and,
- (5) Application for Shoreline/Bank Stabilization.
- (6) Preapproved List of Composite Shingles

Plan Submittal for Review

Plans delivered to /received by HOA Office no later than one week prior to requested review meeting date;

APCC Liaison in conjunction with plan representative fills out the APCC Building Application form;

Notice letter to applicable property owner written/mailed copying the City, adjacent or nearby property owners of scheduled review meeting

Copies of the completed APCC Building Application form, applicable notice letter and 11 x 17 plans being reviewed given to the City prior to meeting.

APCC Plan Review Meeting

Must have a 6-member quorum of APCC present for plan review;

Determine the amount of lot clearing to be done and how far in advance such clearing will be allowable prior to start of construction;

Have property owner sign and agree to terms of the HOA/City Joint Erosion Control Policy;

Make sure two (2) copies of the smaller 11 x 17 prints of the lot are highlighted for location of silt fencing to be installed in all cases no later than 24 hours following the extent of lot clearing to be done;

Also show on the highlighted lot plan the location of the gravel access/egress drive to be used by construction personnel during course of construction;

Pinpoint a single area of the lot for placement of construction debris and whether a roll off dumpster will be placed in that area during construction;

APCC members review plans using checklist of items reviewed

If plans are accepted and agreed upon during APCC member review meeting, an HOA Work Order is issued by APCC Liaison the day after the Review meeting with copies given to the City;

APCC Plan Review Meeting (continued from Page 1)

If any variances are noted on the spreadsheet:

APCC members vote to determine what the APCC Chairperson/HOA Board members will present to the HOA Board membership to vote upon during their next regularly scheduled HOA Board meeting;

Depending on HOA Board vote --- either an HOA Work Order is submitted the day following the HOA Board meeting or the Property Owner/Building is contacted by the APCC Liaison with negative response.

After City receives HOA Work Order and issues a City Permit for new home construction, the City returns the HOA Work Order with a copy of the City Permit to the HOA Office

The HOA Office sets up joint Silt Fence Inspection checklist for routine silt fence inspections performed HOA Property Maintenance Manager and a City Inspector

Any / all silt fencing deficiencies are noted during each of the joint Silt Fence Inspections with the City Inspector noting details of status of contractor response after being notified.

The Silt Fence Inspections continue throughout the entire construction process until inspection notes by City Inspector indicates "Construction Complete, Remove from List."

City provides copy of Certificate of Occupancy to HOA Office for resident lot file.

Attachments (6)

Other Possible Issues:

Lot clearing / grading prior to house plan submittal --- May need to be worked out in conjunction with City and/or LWII Developer, as City has NOT issued grading permits in the past in advance of New Home Building Permits.

Resident: _____

Address: _____

Lot #: _____

APCC _____

Review Date: _____

HOA/City Erosion Control Policy
Green Space Agreement Signed _____

Shoreline Stabilization Form Signed _____

APCC General Guidelines and Requirements

	Validated on Plans	Not identified on Plans	Variance Required	Variance Status (Approved or Rejected)
I. A Plan Submissions for New Construction: Two (2) sets of plans --- 1 full sized set scaled @ 1"=10'0" and 1 smaller size set printed on 11" x 17" paper delivered & emailed as PDF copy to HOA Office				
1 All existing and proposed building areas including driveways, walks, retaining walls, decks, pool, patios, and seawalls in relationship to lot.				
2 All building setback lines indicated.				
3 Top fundation elevation for new house and adjacent properties indicated.				
4 Native tree locations greater than 4" diameter being removed indicated.				
B Floor Plans				
1 All room locations, relationships and sizes indicated.				
2 All decks and extensions indicated.				
C Exterior Elevations				
1 Front, rear and both sides of the house indicated.				
2 Location of all windows and doors indicated.				
3 All deck and extensions indicated.				
4 Yard (elevation) slopes indicated.				
5 Exterior colors and materials indicated.				
D Landscape Plans (not required in initial submission but required before completion of house construction.				
1 Must conform to the surrounding area.				
2 Vegetable gardens are allowed in rear yards only.				
3 Landscape design must give priority to maintenance of native trees greater than 4" in diameter.				
II. Design Guidelines (Specifics as designated by area)				
1 Site Planning and Grading				
a Contours indicated and with minimal disturbance to existing contours.				
b Drainage changes do not cause soil erosion or interfere with maintenance of utilities as drawn.				

[illegible]

* Roofs should be selected from the pre approved list of options. This includes several types of wood

- * Roofs should be selected from the pre approved list of options. This includes several types of wood shingles and composition shingles.

Roofing Material Manufacturer:

* Antennas and Satellite dishes - Other than those allowed by the Federal Telecommunications Act, are not

- allowed and not present on architectural drawings at the time of review.

- * Attic Ventilators - Wind-powered roof ventilators are not allowed on street elevations. Top of the ventilators may not extend beyond roof ridge/line.

- * Solar Energy Systems must be integrated into overall architectural plan of house structure. Homemade, improvised structures are not allowed. Materials must be low iron tempered glass with wood or metal frames. Collectors must be flat with the roof pitch to remain the least visible. Collectors must be grouped together and visually appealing. Exposed pipework is not allowed.

g Driveways

- * Must be hard surfaced and constructed of concrete or asphalt
- * Driveways are within the appropriate set backs
- * Driveway does not exceed 30 feet wide at the street.

* Designs are consistent with the architectural design of house and shall be made of wood, metal or glass.

- ## i Siding

- * Exterior building materials are made of brick, natural stone, wood shingles, wood siding, wood paneling, glass blocks, stucco or combination thereof. Manufactured stone, brick or vinyl, Hardie Plant cement or LP Smart Lap siding may be approved on a case by case basis.

- * All wood exteriors (with the exception of roofs) must be covered with 2 coats of quality paint in an approved color.

- * If vinyl siding is approved for use, it must be no less than 46 mil weight to be considered on specific
- * If a non standard building material is proposed, a sample of the material has been submitted to the committee for review.

Material Type:

Manufacturer:

- * Colors should be compatible with each other and neighboring houses. Shingle or natural wood siding materials may be left natural. Fascia, trim and columns and beams may not have an accent color. All external colors shall blend with the colors of the natural landscape. Trim colors should not be in high contrast.

Exterior Paint Color:

Resident:

Trim Color:					
Door Color:					
* Deck size and shape relate to the elevation. Privacy of adjacent houses or structures should be considered. Colors and materials must be compatible with rest of house.					
* Multiple decks on the same elevation must use the same railing details.					
* Decks fall within the build line requirements and property easements.					
5 Uncompleted Structures					
a May not be left unfinished for more than 5 months after commencement of construction.					
In the event of fire, windstorm or other damage, repairs must be made within 3 months of the occurrence.					
6 Exterior alterations must be submitted to the APCC for review.					
a This includes room additions, external painting and decks					
7 Miscellaneous Structures					
a Swimming pools are located in rear yard and placed at least 10 feet from all lot lines					
* Security /privacy fencing is carefully related to adjacent properties.					
* Only immediate pool area and mechanical equipment are fenced.					
b Fencing is of an approved material limited to decorative wooden rail, wooden picket (not wider than 4" with space of note less than twice the width of the picket from center to center), vinyl covered aluminum, powder coated steel or wrought iron fences with posts set in concrete.					
Fencing Type:					
Fencing Manufacturer:					
c Walls					
* No walls may be greater than 48 inches above the finish grade of the lot, except for retaining walls necessitated by lot elevations or a privacy wall up to 6 feet in height constructed in an area not to exceed 6 feet from patio and is attached to the house or structure.					
* No wall may extend beyond rear of foundation corners of the house or be erected in the front yard, except as a terrace incorporated into an approved landscape plan.)					
* Walls relate to architectural design features of the house.					
* Walls must be constructed of building brick, railroad ties, landscape timber, natural stone, concrete or a combination thereof, except that no privacy wall may be constructed solely of concrete.					
d No outbuildings are allowed on property.					
e Permanent flagpole should be of a height, color and location appropriate to the size of the property and background.					
f Storage Tanks for the storage of gasoline, oil, fuel or water many not be erected or placed on any lot, parcel or tract of land.					
g Sporting or Game areas are not allowed street side on any lot. (This includes areas such as tennis courts, badminton courts, baseball diamonds, football fields, etc.)					

Resident:

h Children's Outdoor Swing/Playsets

- * Proposed size and location to be shown on a plot plan, only allowed within back yard of a residential home lot
- * Must be of wood and/or timber construction, may only have one level, or split level above ground, the maximum height being 6'3" above the ground with maximum height of any part of playset @10'5"
- * The overall size of playsets shall be no more than 21'11" wide and 16'8-1/2" long and no more than 10'5-3/16" high.
- * The playset may not have solid side panels, railings must be pickets or at a minimum have 2-inch spacing between boards.
- * All finishes except plastic slides; ladders, swings, etc., to be unfinished or stained wood and may include a cloth, canvas, plastic, wood, or composite shigled cover over a portion of the structure -- all subject to preapproval.
- * Playsets shall not have foundations and shall not be weather tight or be designed, sized or constructed to be adequate for any type of storage. None will be allowed to have electrical wiring or lights.

i Shoreline/Bank Stabilization - to be considered for every waterfront lot.

- * To be considered for every waterfront lot for purposes of erosion control and wave dissipation may not be required in initial new home construction plan, but required before completion of house construction.
- A, B & C attached to Shoreline/Bank Stabilization Application Form to be provided by HOA Office upon request.
- * Refer to APCC Guidelines for more detailed description.

j Arbors - As a garden feature forming shaded walkway, passageway or sitting area of vertical posts or pillars.

- * No more than two (2) free standing arbors will be allowed on a home owner's property and must be located within the allowable "build lines" of the property, incorporated into an overall landscape plan with maximum size of 4' wide, 10' long and 8' high to the underside of the cross members.
- * Plans for arbor installations are to be submitted for APCC approval with complete "in scale" drawings clearly showing the plan along the front, rear and side elevations.
- * Arbors to be constructed of steel or wood posts maximum of four (4) per Arbor with cross beams, lattice work or members creating an open lattice, with air space between.
- * Refer to APCC Guidelines for more detailed description.

Proposed Variances Requiring approval

12 Winnebago Drive
Lake Winnebago, MO 64034
Phone: (816) 537-7273; Fax: (816) 537-4887
lakewinnebagohoa@comcast.net

Lake Winnebago Home Owner's Association

HOA Greenbelt Acknowledgement

The Lake Winnebago Home Owner's Association ("HOA") is the titled owner of the "Greenbelt" or "walkway easement" ("Greenbelt") that surrounds Lake Winnebago, including the area between Block/Lot# _____ and Lake Winnebago. The Undersigned Block/Lot Owner(s) has/have sought permission from the HOA through its Architectural & Plan Control Committee ("APCC") to construct or install certain Structures/Improvements within the Greenbelt owned by the HOA.

By granting permission and approving the requested Structures/Improvements on or within the Greenbelt, it is agreed and understood by and between the Undersigned Block/Lot Owners(s) and the HOA that the HOA is and shall remain the titled owner of the Greenbelt. It is further agreed and understood by the Undersigned Block/Lot Owner(s) that the HOA is not relinquishing or in any manner forfeiting ownership of the Greenbelt or future use of the Greenbelt by granting permission and approving the Structures/Improvements requested by the Undersigned Block/Lot Owner(s). The Undersigned Block/Lot Owner(s) covenant and agree(s) that I/we shall not in any manner claim ownership of all or any portion of the Greenbelt by reason of the construction or installation of the Structures/Improvements approved by the APCC and/or the HOA within the Greenbelt owned by the HOA.

The Undersigned Block/Lot Owner(s) also agree(s) that in the event the HOA requires the use of the Greenbelt and/or if the approved Structures/Improvements are damaged, destroyed, or become in need of repair and/or removal, the cost for such removal, repair and/or replacement shall be the sole responsibility of the Undersigned Lot Owner(s) and the HOA shall not be liable for all or any part of the cost for such removal, repair and/or replacement.

AGREED AND ACCEPTED:

This _____ day of _____, 20____

By: _____
Printed Name: _____

and/or

By: _____
Printer Name: _____

Owner(s) of:
Lake Winnebago Block/Lot #: _____
Street Address: _____

12 Winnebago Drive
Lake Winnebago, MO 64034
Phone: (816) 537-7273; Fax: (816) 537-4887
lakewinnebagohoa@comcast.net

Lake Winnebago Home Owner's Association

LAKE WINNEBAGO EROSION CONTROL
ARCHITECTURAL & PLAN CONTROL COMMITTEE (APCC) & CITY OF LAKE WINNEBAGO
JOINT POLICY ON CITY ORDINANCES #525 §223.025, AND #522 §223.21
SECTIONS 223.060, 223.070 & 223.080

HOA APCC Review/Approval – Residents seeking approval for any work on his/her property necessitating probable ground disturbance, i.e., lot clearing, excavation, landscaping, or construction, shall seek approval from HOA / APCC by providing a complete description of the proposed work with scaled drawings in duplicate, etc. in accordance with HOA / APCC Guidelines.

Erosion Control Specifics --- A plan of the erosion control, i.e., silt fencing installation as needed will be provided by the resident &/or the resident's contractor any time the approved work reveals erosion control installations are deemed necessary, in accordance with the following steps:

- (1) A plan of the site, provided in advance by the resident when submitting the description of work and applicable scaled drawings or the proposed work in time for the APCC review meeting. The site plan will be marked &/or highlighted to denote areas along all property lines where silt fencing for erosion control needs to be installed;
- (2) An HOA Work Order will be issued and given to the City along with the plan for silt fencing reviewed/approved by the APCC.
- (3) The actual installation of silt fencing will be confirmed by the City if not prior to issuing the City's building permit, as soon as possible thereafter.
- (4) The silt fencing will include a specified area of the property designated for trash/refuse containment as may be applicable. Licensing and proof of insurance coverage is to be provided as required by the City.

Site Inspection HOA / APCC Work Order --- The property will be inspected by the APCC & City representative(s) to ensure erosion control has been installed according to the plan determined by the City. If lot clearing is necessary before installing the specified erosion control system, the resident's Contractor, is to notify the HOA/City Offices of the timeframe for performing the clearing work citing a date specific for installing the erosion control, i.e., silt fencing system. The installation is to be completed immediately upon but no later than 24 hours following completion of any lot clearing work.

Weekly Site Inspection Schedule --- Routine inspections of all work sites by the APCC / City representative(s) are scheduled and performed weekly or as deemed necessary on a routine basis as weather dictates throughout the duration of each project to ensure all erosion requirements are being maintained. If any discrepancies are identified the APCC / City representative(s), the City Office will be informed, accordingly.

Erosion Control Violations --- The City will notify the property owner and any contracted representative(s) of the property owner of any/all violations citing the timeframe in which such violations are to be cured to avoid the assessment of any / all charges which may be assessed until the violations are resolved.

PLEASE NOTE: The property owner and property owner representative(s) are responsible for any material crossing property lines into adjacent properties, whether neighboring residential lot(s), city street(s), or across shorelines into the Lake. Failure to control material and/or debris within the designated property lines shall be subject to citation. Any damages to adjacent properties created during the construction process are to include repair of those areas as part of completing the contracted project.

ACKNOWLEDGED, ACCEPTED & AGREED TO

This _____ day of _____, 201____,

By: _____

Printed Name: _____

By: _____

Printed Name: _____

Block/Lot #: _____ Address: _____

**VIOLATIONS NOT CORRECTED WITHIN
24 HOURS WILL BE CAUSE FOR CITY TO CEASE
CONSTRUCTION &/OR IMPOSE APPLICABLE FINES**

By: David Sullivan

HOA Board Member, APCC Chairperson

NAME: _____ LOT NUMBER: _____

ADDRESS OF APPLICANT: _____

Application for Shoreline/Bank Stabilization

For reference, the "Architectural & Plan Control Committee (APCC) Guidelines – Section 7(i) Shoreline/Bank Stabilization" is included as follows.

1. Shoreline/bank stabilization shall be considered for every waterfront lot for purposes of erosion control and wave dissipation. Similar to "Landscape Plans" for new homes (Section 1(d) of the APCC Guidelines), "Shoreline/Bank Stabilization Plans" for new homes are not required in initial submission, but are required before completion of house construction.
2. Shoreline/bank stabilization methods can be natural/native rock, sea walls, riprap or a combination of these methods. Examples of acceptable sea wall and riprap cross sectional views are provided on Sketches A, B, and C.
3. The HOA requirement for all shoreline/bank stabilizations is to provide a riprap fillet to an elevation of 2 feet above the lake normal pool elevation of 918.5 feet, i.e. a riprap height of 920.5 feet. A 1 to 3 (2 to 6) riprap slope will normally be required for riprap stability. The submitted shoreline/bank stabilization plans will be reviewed by the APCC and Lake & Dam Committee with this requirement in mind. Shoreline/bank stabilization methods not meeting this requirement will require an approval recommendation by the APCC and L&D Committees and approval of a variance by the HOA Board.
4. Sea walls shall be constructed of stacked stone, or concrete. The installation of steel, vinyl, or timber sea walls is not allowed. Filter fabric shall be placed between the shore and the sea wall. A riprap fillet to an elevation of 2 feet above the lake normal pool elevation must be provided on the lakeside front of the wall.
5. Sea walls cannot be constructed to gain, or reclaim, usable property. Unless determined by the APCC and Lake & Dam Committees, as "not practical", sea walls and riprap shall be constructed so that the normal pool shore line boundary is maintained to the maximum degree possible, and any reduction of lake surface square footage is minimized.
6. Riprap bank stabilization is allowed. Riprap must be clean limestone or native rock that is 2 to 6 inches in diameter, or larger. A filter of crushed rock, gravel, or filter material shall be placed under the riprap.
7. Sea walls and/or riprap shall be visually appealing, and conform where possible and practical to the natural alignment of the shore.

Permit Requirements:

1. The height/elevation of the dam spillway, normal pool, is 918.5 feet.
The peak lake elevation for the 100 year 24 hour rainfall of 7.7 inches is 921.7 feet.

The peak lake elevation for the 0.75 of PMP (Probable Maximum Precipitation) 6 hour rainfall of 19.7 inches is 926.7 feet.

Proposed top of seawall height/elevation is ____ feet (Recommend a minimum of 921.5 feet). Unless required by shoreline, the maximum sea wall height is 923.5 feet.

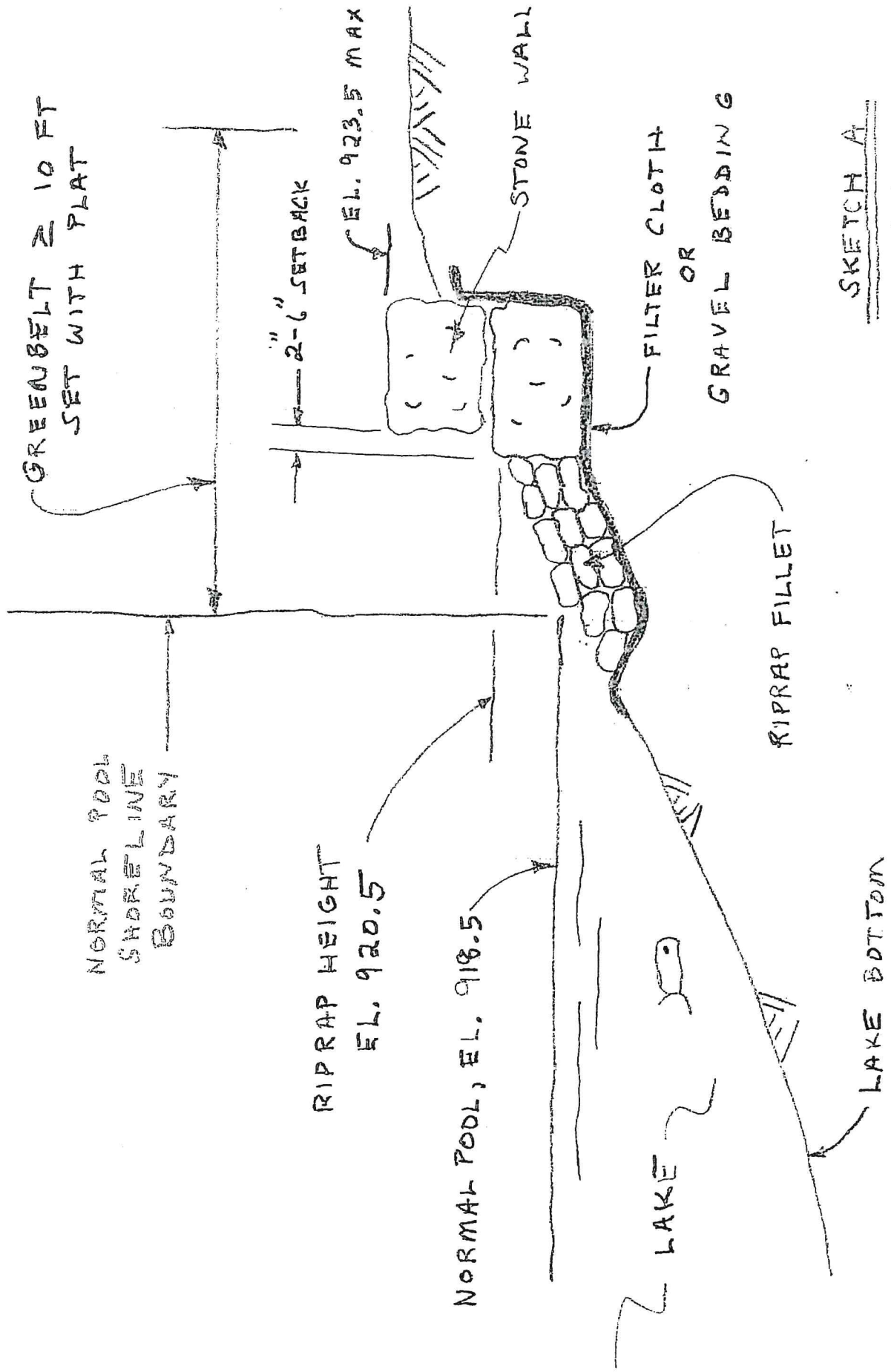
2. Plot plan or drawing of proposed wall, or riprap area, to scale, must be provided showing exact location of the seawall, and/or riprap, on the lot plot plan relative to the property boundary lines, and any adjacent sea walls. An approximate cross sectional sketch must also be provided.
3. _____ is the proposed footing elevation.
4. _____ and _____ are the distances from the property corners to the Lakeside face of the wall.
5. _____ inches of setback/backstack to be used per row of stacked stones. (Recommend 2 to 6 inches per row)
6. _____ inches of stone height for each row.
7. Is the top of the wall the same height its entire length? ____ If not indicate on the drawing or plot plan where the elevations change. Indicate on the drawing or plot plan if the top of wall is different from adjacent sea walls.
8. Indicate on the plot plan, or drawing, whether the lateral position will be a straight line, or if it will follow the curvatures of the shoreline, and the sea wall position relative to any existing adjacent sea walls.
9. On the plot plan or drawing, if possible, indicate at several locations the distance of the wall lakeside face from known landmarks between the property corners.
10. Other information regarding seawall: _____

Signature: _____ Date: _____

**All plans/applications are subject to the approval of the APCC, the Lake & Dam Committee, and the Lake Winnebago Home Owner's Association Board of Directors.

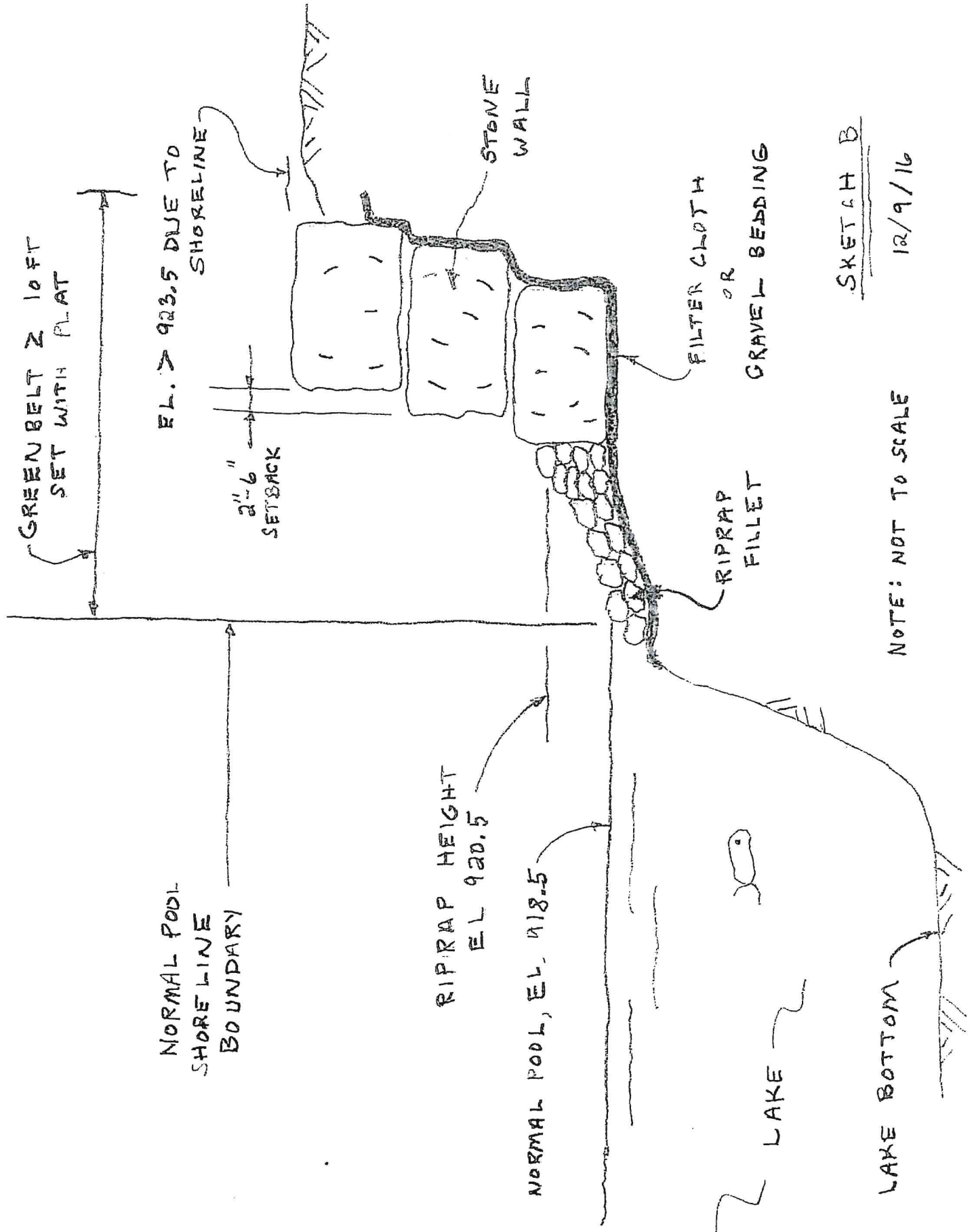
**A permit must be obtained through the City of Lake Winnebago.

Revised Form date: December 9, 2016



SKETCH A
12/9/16

NOTE: NOT TO SCALE



SKETCH B

12/9/16

NOTE: NOT TO SCALE

GREENBELT \geq 10 FT
SET WITH PLAT

NORMAL POOL
SHORELINE
BOUNDARY

RIPRAP

NORMAL POOL
EL. 918.5

EL. 920.5

FILTER CLOTH
OR
GRAVEL BED

LAKE

SKETCH C

NOTE: NOT TO SCALE

12/8/16