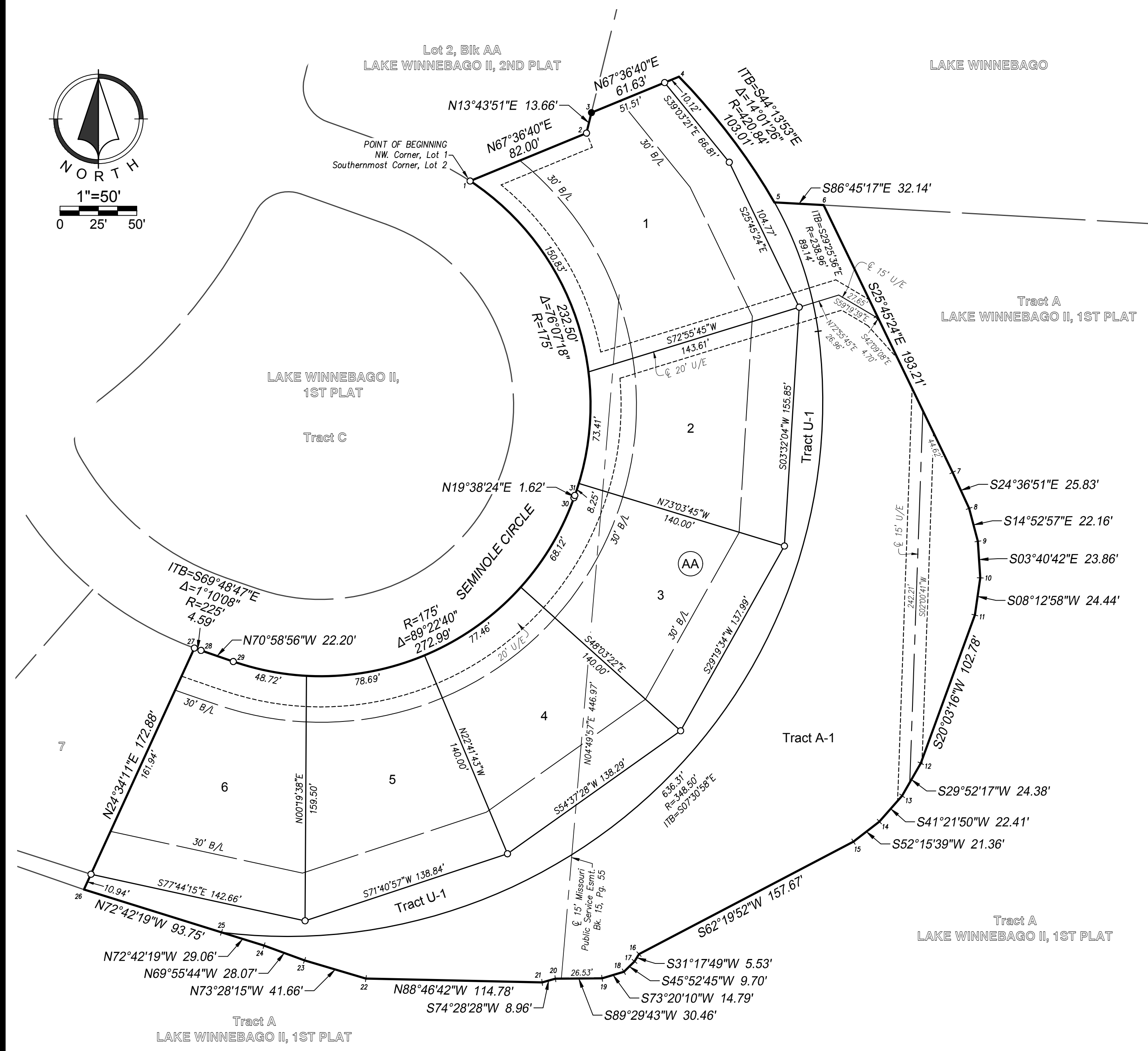
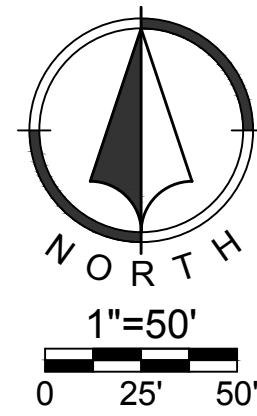


# FINAL PLAT

## LAKE WINNEBAGO II, 3RD PLAT

A REPLAT OF ALL OF LOTS 2 THRU 6, BLOCK AA, AND PART OF TRACTS A AND U, LAKE WINNEBAGO II, 1ST PLAT, TOGETHER WITH ALL OF LOT 1, BLOCK A, AND ALL OF TRACT U, LAKE WINNEBAGO II, 2ND PLAT, TOGETHER WITH PART OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 46 NORTH, RANGE 31 WEST, ALL IN THE CITY OF LAKE WINNEBAGO, CASS COUNTY MISSOURI.



**DESCRIPTION**

All of Lots 2 thru 6, Block AA, and part of Tracts A and U, LAKE WINNEBAGO II, 1ST PLAT, together with all of Lot 1, Block A, and all of Tract U, LAKE WINNEBAGO II, 2ND PLAT, together with part of the Northwest Quarter of Section 9, Township 46 North, Range 31 West, all in the City of Lake Winnebago, Cass County, Missouri being more particularly described as follows:

Beginning at the Northwest corner of said Lot 1, Block A, said point also being the southernmost corner of Lot 2, Block A of said LAKE WINNEBAGO II, 2ND PLAT; thence North 67°36'40" East, along the Southeast line of said Lot 2, a distance of 82.00 feet to the Southeast corner thereof; thence North 13°43'51" East, along the East line of said Lot 2, a distance of 13.66 feet; thence departing said East line, North 67°36'40" East a distance of 61.53 feet; thence southeasterly along a non tangent curve to the right having an initial tangent bearing of South 44°13'53" East, a radius of 420.84 feet, and a central angle of 14°01'26", for a distance of 103.01 feet to a point on the Northerly line of Tract U of said LAKE WINNEBAGO II, 2ND PLAT; thence South 86°45'17" East, along said Northerly line, a distance of 32.14 feet to a point on the Westerly line of Tract A of said LAKE WINNEBAGO II, 1ST PLAT; thence along said Westerly line, the following twenty courses: thence South 25°45'24" East, a distance of 193.21 feet; thence South 24°36'51" East a distance of 25.83 feet; thence South 14°52'57" East a distance of 22.16 feet; thence South 03°40'42" East a distance of 23.86 feet; thence South 08°12'58" West a distance of 24.44 feet; thence South 20°03'16" West a distance of 102.78 feet; thence South 29°52'17" West a distance of 24.38 feet; thence South 41°21'50" West a distance of 22.41 feet; thence South 52°15'39" West a distance of 21.36 feet; thence South 62°19'52" West a distance of 157.67 feet; thence South 31°17'49" West a distance of 5.53 feet; thence South 45°52'45" West a distance of 9.70 feet; thence South 73°20'10" West a distance of 14.79 feet; thence South 89°29'43" West a distance of 30.46 feet; thence South 74°28'28" West a distance of 8.96 feet; thence North 88°46'42" West a distance of 114.78 feet; thence North 73°28'15" West a distance of 41.66 feet; thence North 69°55'44" West a distance of 28.07 feet; thence North 72°42'19" West a distance of 29.06 feet; thence North 72°42'19" West a distance of 93.75 feet; thence North 24°34'11" East, along the East line and its southerly prolongation of Lot 7, Block AA of said LAKE WINNEBAGO II, 1ST PLAT, a distance of 172.88 feet to the Northeast corner thereof, said point also being on the Southerly right-of-way line of Seminole Circle, as it now exists; thence along the Southerly and Easterly right-of-way line of said Seminole Circle, the following five courses: thence easterly along a curve to the left having an initial tangent bearing of South 69°48'47" East, a radius of 225 feet, and a central angle of 01°10'08", for a distance of 4.59 feet; thence South 70°58'56" East a distance of 22.20 feet; thence northeasterly along a tangent curve to the left a radius of 175 feet, and a central angle of 89°22'40", for a distance of 272.99 feet; thence North 19°38'24" East a distance of 1.62 feet; thence northerly along a tangent curve to the left having a radius of 175 feet, and a central angle of 76°07'18", for a distance of 232.50 feet to the Point of Beginning, containing 171,505 square feet, or 3.937 acres, more or less.

**DEDICATION**

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "LAKE WINNEBAGO II, 3RD PLAT".

The undersigned proprietor of said property shown on this plat does hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on said plat as streets, terraces, places, roads, drives, lanes, parkways and avenues not heretofore dedicated.

The owner or his/her representative hereby irrevocably offers for dedication to the City all the streets, municipal use, easements, parks and required utilities shown on the subdivision plat and construction plans in accordance with an irrevocable offer of dedication dated \_\_\_\_\_ and recorded in the County Recorder of Deeds office.

By: \_\_\_\_\_  
Owner or Representative

By: \_\_\_\_\_  
Owner or Representative

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" (U/E) or within any street or thoroughfare dedicated to public use on this plat, is hereby granted to the City of Lake Winnebago, Missouri. The grantor, on behalf of himself, his heirs, his assigns and successors in interest, hereby waives, to the fullest extent allowed by law, including, without limitation, Section 527.188 RSMo, (2006), any right to request restoration of rights previously transferred and vacation of the easement herein granted.

Building lines or setback lines are hereby established as shown on the accompanying plat and no building or portion thereof shall be constructed between this line and the street right-of-way line.

**RESTRICTIONS**

Tract "A-1" is lake area, and shall be owned and maintained by the Lake Winnebago Home Owners Association.

Tract "U-1" is dedicated as Greenbelt, and shall be owned and maintained by the Lake Winnebago Home Owners Association.

**EXECUTION**

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

DTS MISSOURI, LLC

Randy Spalding, Manager

STATE OF MISSOURI )  
                                  ) SS  
COUNTY OF CASS )

BE IT REMEMBERED, that on this \_\_\_\_\_ day of \_\_\_\_\_, 2018, before me a Notary Public in and for said County and State, came Randy Spalding, Manager of DTS Missouri, LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said company, and he duly acknowledged the execution of the same to be the act and deed of said company.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

Notary Public \_\_\_\_\_ My Appointment Expires: \_\_\_\_\_

**ACCEPTANCE:**

This subdivision plat has been reviewed and accepted by the Board of Alderman, City of Lake Winnebago, this \_\_\_\_\_ day of \_\_\_\_\_, 2018 and recorded as ordinance number \_\_\_\_\_.

CITY OF LAKE WINNEBAGO

By: \_\_\_\_\_  
Mayor

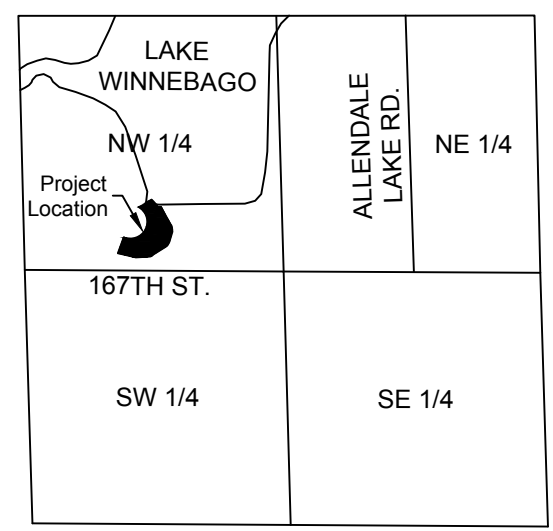
By: \_\_\_\_\_  
City Clerk

**ACCEPTANCE:**

This subdivision plat has been reviewed and conforms to city engineering requirements.

By: \_\_\_\_\_ Date \_\_\_\_\_  
City Engineer

I hereby certify that this subdivision plat is based on an actual survey completed on the ground by me or under my direct supervision, and that said survey meets or exceeds the current minimum standards for "Urban Class" boundary surveys as established by the Department of Natural Resources, Division of Geology and Land Surveyors of the State of Missouri and the Missouri Board of Architects, Professional Engineers and Land Surveyors, and that the results of said survey are represented on this drawing to the best of my professional knowledge and belief.



**LEGEND:**

- FOUND 1/2" REBAR WITH RIC MO CAP
- SET 1/2" X 24" REBAR WITH RIC MOCL52011003572 KSCLS234 CAP
- B/L BUILDING SETBACK LINE
- U/E UTILITY EASEMENT

Plat Corners (State Plane Coords in Feet)			Plat Corners (State Plane Coords in Feet)		
Point #	Northing	Easting	Point #	Northing	Easting
1	965416.486	282828.665	17	964908.453	2828035.781
2	965447.714	2828904.471	18	964901.702	2828928.819
3	965460.979	2828907.712	19	964897.461	2828914.652
4	965484.452	2828964.693	20	964897.193	2828884.201
5	965402.642	2829026.834	21	964894.794	2828875.568
6	965400.823	2829058.814	22	964897.242	2828760.829
7	965226.832	2829142.862	23	964909.092	2828720.897
8	965203.354	2829153.618	24	964918.725	2828694.532
9	965181.938	2829159.310	25	964927.363	2828666.792
10	965158.133	2829160.840	26	964955.229	2828577.295
11	965133.945	2829157.348	27	965112.431	2828649.167
12	965037.413	2829122.109	28	965110.891	2828653.491
13	965016.272	2829109.966	29	965103.657	2828674.480
14	964999.452	2829095.156	30	965210.271	2828896.294
15	964986.383	2829078.271	31	965211.796	2828896.839
16	964913.179	2828938.654			

PLAT AREAS	
LOT 1	21,289 S.F.
LOT 2	15,277 S.F.
LOT 3	14,497 S.F.
LOT 4	14,472 S.F.
LOT 5	15,586 S.F.
LOT 6	16,967 S.F.
TRACT A	57,834 S.F.
TRACT U	15,582 S.F.

**NOTES:**

- Basis of Bearings: U.S. State Plane, Missouri West Zone, NAD 83.
- Missouri State Plane Coordinates calculated using Missouri Geographic Reference System, Station CA-10, using a combined adjustment factor of 0.99986053.
- All bearings and distances shown on this plat are measured unless otherwise noted.
- Flood Plain Note (Table A item #3): According to the F.E.M.A. Flood Insurance Rate Map Number 29037C0055F revised January 2, 2013, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.
- A 1/2" x 24" rebar with cap will be set on all property corners upon completion of construction.

Steve E. Roberts, Missouri LS-2496

**LAKE WINNEBAGO II, 3RD PLAT**

Prepared For:  
LRSWD, L.L.C.  
Mr. Randy Spalding  
8430 Clint Drive  
Belton, Missouri

Date of Preparation:  
August 1, 2018

**Renaissance  
Infrastructure  
Consulting**

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